

CITY OF PHOENIX

FEB 19 2021

**Planning & Development
Department**



Scottsdale & Bell

Case No. Z-___-21

LOCATED AT THE SOUTHWEST CORNER OF
SCOTTSDALE ROAD AND BELL ROAD

INITIAL SUBMITTAL: FEBRUARY 19, 2021

SECOND SUBMITTAL:

HEARING DRAFT:

A Planned Unit Development (“PUD”) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Zoning Ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies Zoning Ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary, such as, but not limited to, right-of way abandonments.

Principles and Development Team

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A. PURPOSE AND INTENT

A1: Project Overview and Goals

Scottsdale & Bell is a proposed luxury multifamily residential building located at the southwest corner of the intersection of Bell Road/Frank Lloyd Wright Boulevard and Scottsdale Road, on the south side of the Central Arizona Project (“CAP”) Canal, the gateway to the Kierland area. Currently developed with a typical 90’s era single-story retail building, this key gateway into the Kierland area is fairly non-descript and could be found anywhere in the City.



The Kierland area is a highly desirable part of Phoenix due to its proximity to a number of high-end urban amenities including retail, dining as well as proximity to major employers supporting an estimated 55,000 jobs with an expectation to achieve 75,000 jobs spread across 4,000 employers by 2030¹. This project will provide modern living in close proximity to this jobs center, while also establishing a building of both design and quality to frame the “entry” to the Kierland area, building off of the architectural statement made on the Scottsdale side of the intersection by the 125 foot tall “spire” designed by Frank Lloyd Wright and the 1,000,000 square foot Class-A office and retail mixed use Promenade Shopping Center.



The project provides an opportunity to redevelop a simple 1-story retail building

¹ <https://www.azcentral.com/story/news/local/scottsdale/2015/05/15/report-record-job-numbers-scottsdale-airpark/27371845/>

located at this significant intersection with high quality residential development that will add an architectural statement on the Phoenix side of Scottsdale Road, with an overall goal of framing this critical route and enhancing the Kierland area to the south.

A2: Overall Design Concept

The overall design concept for the project is focused around its unique architecture style paired with lush landscaping treatments along the Scottsdale Road and Bell Road frontages in order to reinvent the property as part of a prominent “gateway” to Kierland, balancing the existing development on the east side of the intersection. The design and architecture style are focused on a modern design, complimenting the Frank Lloyd Wright spire and its surrounding office development. Design elements include staggered components in the upper stories of the building and quality materials complementing the surrounding built environment of those recent development projects south of the subject property. The project will feature quality pedestrian edges, will result in the elimination of surface parking areas, and will provide an emphasis on quality design that has visual interest within the pedestrian realm and to the broader community.

In order to support this design concept, the project utilizes specific screening elements along the ground level to minimize the visibility of the parking garage from the adjacent rights-of-way and properties. The project provides visual interest for those entering the Kierland area through the use of varying building materials and colors that is carried throughout the project, with particular emphasis on landscaping and movement in the façade of the upper stories of the building.

In summary, the project results in a building that (i) reinvents the entrance experience for those traveling southbound into the Kierland area (ii) reinforces a strong pedestrian environment by providing ample shade and landscaping adjacent to the public rights-of-way, as well as concealing vehicle parking for the project, and (iii) preserves the high-quality design and architecture styles that have been established within the Kierland area through the use of a rich blend of materials and colors combined with a contemporary design.

B. LAND USE PLAN

B1: Proposed Land Use Categories

Scottsdale & Bell is a luxury multifamily building comprised of up to 255 dwelling units (a maximum of 91 du/ac) with associated private residential amenities located on an approximately 2.8-acre site.

B2: Conceptual Site Plan Summary

The following provides an overview of the conceptual site plan provided with this PUD:

Basement Levels include a below grade parking garage with approximately 305 parking spaces and ancillary storage, including equipment rooms.

Grade Level is the location of the primary building entrance to the management/leasing office, as well as to the elevator access to the upper floors of the building. Grade level is also the location of additional vehicle parking spaces (approximately 81 parking stalls), which are carefully screened from public view by a faux façade to replicate the world-class architecture of the project. The primary entrance to the parking garage is accessed via a private accessway that features a vehicle turnaround space to function as a staging area for rideshare services, such as Uber and Lyft, and smaller delivery vehicles on-site, keeping them off the adjacent rights-of-way. A secondary vehicular access to the parking garage will be provided on the north side of the property, accessed from Bell Road. All formal loading activities, such as trash and move-ins, also occur within the parking garage.

The architecture and landscape along the adjacent rights-of-way support the strong pedestrian connection to the adjacent Scottsdale Promenade and other supporting retail and office uses in the area, as well as the Arizona Canal to the north of the subject property, which serves as a recreational amenity for residents and visitors of the area. The project features articulation in the building façade through the use of various colors and materials, as well as by providing shade and interesting vegetation along the street frontages.

Level 2 is the location of the remainder of the vehicular parking for the project (totaling 476 parking spaces), which incorporates screening that is consistent with the faux façade of the ground level, described above.

Level 3 is planned as the main amenity level with the residential clubhouse, which opens to a lushly landscaped podium deck with outdoor courtyard and seating areas. Level 3 will also include approximately 25 residential dwelling units.

Levels 4-14 are a typical representation of the upper levels of the building, where residential dwelling units continue above grade level. The typical residential building floor will have between approximately 10 to 26 dwelling units depending on final bedroom count and unit sizing.

Penthouse Level is the location of approximately 10 residential dwelling units.

Roof Level will feature an indoor/outdoor event space with a full kitchen and cooking facilities, and swimming pool and spa for resident use, along with lushly landscaped gathering and seating areas with opportunities to view the McDowell Mountains to the east of the subject property. To maintain the quality appearance of the project, the necessary rooftop equipment/mechanicals will be organized and screened from view.

C. LIST OF USES

C1: Permitted Uses

- Multifamily residential dwelling units as governed herein²
- C-2 uses as permitted by Section 623 of the City of Phoenix Zoning Ordinance

C2: Temporary Uses

- All temporary uses shall comply with Section 708 of the City of Phoenix Zoning Ordinance

C3: Prohibited Uses

The following land uses are not permitted:

- All Special Permit uses otherwise permitted in the C-2 Zoning District are prohibited.
- Auto Title Loan Establishments
- Automobile Parts and Supplies, New Retail and Wholesale
- Boats, Retail Sale
- Car Wash
- Compressed Natural Gas Retail Sales
- Gas Stations
- Garage, Repair
- Hospital
- Motorcycles, Repair and Sales
- Non-Profit Medical Marijuana Dispensary Facility
- Pawn Shop
- Service Stations, Automobile

² The Zoning Administrator may issue interpretations for land uses that are analogous to those listed in this section, as authorized by Zoning Ordinance Section 307.A.3.

- Tobacco Oriented Retailers
- Veterinarian Offices
- Veterinarian Hospitals
- Window Glass Installation Shop

D. DEVELOPMENT STANDARDS

D1: Development Standards Table

The following development standards apply to any multifamily development of the property (including mixed-use); in the event that stand-alone non-multifamily development occurs, the development standards applicable to such development shall be those of Ordinance Section 623, the C-2 General Commercial, Zoning District.

Development Standards	Proposed PUD
a. Density (Maximum)	255 Dwelling Units 91 Dwelling Units per Gross Acre
b. Minimum Lot Width/Depth	No Minimum
c. Building Setbacks³	
North (Bell Road)	23' (Minimum)
East (Scottsdale Road)	22' (Average)
South (Interior)	17' (Average)
West (Interior)	5' (Minimum)
e. Building Height (Maximum)	159 Feet
f. Lot Coverage (Maximum)	65% of Total Net Site Area

D2: Landscape Standard Table

Minimum Landscape Standards	
a. Landscape Setbacks	
North (Bell Road)	20' (Minimum)
East (Scottsdale Road)	15' (Average)
South (Interior)	Not Required ⁴
West (Interior)	5' (Minimum)
b. Streetscape - Adjacent to Bell Road (North Property Line)	<p><u>Public Sidewalk:</u> Remove existing attached sidewalk and replace with approximately 7' wide detached sidewalk.</p> <p><u>Landscape Strip:</u> Provide a minimum 8' landscape strip between back of curb and sidewalk.</p> <p>A mix of the following trees to be included:</p> <ul style="list-style-type: none"> • Min. 2-inch caliper (25% of required trees) • Min. 3-inch caliper or multi-trunk tree (75% of required trees)

³ 40'-0" sidewalk easement set forth on recorded plat of Princess Crossing, recorded July 10, 1997 in Book 445 of Maps, Page 18 to be abandoned.

⁴ Due to shared drive aisle, there is no base standard requirement. Area between building and property line not otherwise occupied by drive aisles or sidewalks shall be landscaped. See Section D.2.d.

	<p>Trees to be planted 25' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. Minimum of (5) 5-gallon drought-resistant shrubs per tree (maximum 24 inches tall at maturity).</p> <p><u>On-Site Landscaping:</u> Between sidewalk and building façade, a mix of the following trees to be included:</p> <ul style="list-style-type: none"> • Min. 2-inch caliper (25% of required trees) • Min. 3-inch caliper or multi-trunk tree (50% of required trees) • Min. 4-inch caliper or multi-trunk tree (25% of required trees) <p>Trees to be planted 25' on center or in equivalent groupings, except where utility conflicts exist. A mix of drought-resistant vegetation to include accent plants, shrubs and ground cover plants shall be planted to achieve 75% living groundcover coverage.</p> <p>At minimum, 75% of the plants shall be five (5) gallon in size, 25% shall be one (1) gallon in size.</p>
<p>c. Streetscape - Adjacent to Scottsdale Road (East Property Line)</p>	<p><u>Public Sidewalk:</u> Retain existing approximately 5' wide attached sidewalk in current location to the extent feasible (modification for utilities, ADA upgrades, etc. are permitted)</p> <p><u>On-Site Landscaping:</u> A mix of the following trees to be included:</p> <ul style="list-style-type: none"> • Min. 2-inch caliper (25% of required trees) • Min. 3-inch caliper or multi-trunk tree (50% of required trees) • Min. 4-inch caliper or multi-trunk tree (25% of required trees) <p>Trees to be planted 20' on center or in equivalent groupings, except for within driveways, sidewalks or sight visibility triangles. A mix of drought-resistant vegetation to include accent plants, shrubs and ground cover plants shall be planted to achieve 75% living groundcover coverage.</p>

	At minimum, 75% of the plants shall be five (5) gallon in size, 25% shall be one (1) gallon in size.
d. Perimeter Property Lines – Not Adjacent to Public Right-of-Way (South Property Line)	Minimum of six (6) 3” caliper planted between the property line and the building, disbursed evenly to the extent practical. Areas not otherwise paved or utilized for drive aisle or sidewalks shall include a minimum of five (5) 5 gallon drought-resistant shrubs and accents per tree to achieve 75% living groundcover coverage.
e. Perimeter Property Lines – Not Adjacent to Public Right-of-Way (West Property Line)	Drought-resistant vegetation shall be planted to achieve 75% living groundcover coverage.
f. Minimum Common Open Space	A rooftop private common open space amenity shall be provided. Said amenity shall be a minimum of 5% of total gross lot area. 30% shade to be provided. See <u>Section D.5</u> for shade requirements and <u>Section E.3</u> for amenity requirements.
g. Minimum Total Open Space	Minimum of 35% of total net site acreage. May be located at or above grade (i.e. roof deck) and includes both active and passive open space areas. Excludes required landscape setback areas.
Parking Standards	
a. Minimum Parking Standards	
Residents	1.52 spaces per dwelling unit
Unreserved Visitor	0.35 spaces per dwelling unit
Off-Street Loading Space	1 required
d. Bicycle Parking	0.25 per unit (maximum required 25)
b. Parking Location, Automotive	All parking areas shall be located within a garage structure, except for 3 parking spaces located in the vehicular drop-off area near the building entrance.
c. Parking Location, Bicycle	To be installed in conformance with Ordinance Section 1307.H, except as follows: (i) Inverted-U style bicycle racks or artistic style racks consistent with the City of Phoenix preferred designs (see Comprehensive Bicycle Master Plan, Appendix K) shall be provided and (ii) secure resident bike storage may be located within the parking garage.
d. Loading Bay	One (1) off-street loading space shall be located within the parking garage and screened from public view.

D3: Parking

D4: Fences/Walls

Fences/Walls

Fences and walls shall comply with Ordinance Section 703.

D5: Shade

Shade

Building and Shade

Shading, which may be architectural, vegetative or any combination thereof, shall be provided at a minimum of 75% for all public sidewalks. All shade calculations shall be based on the summer solstice at noon. Exception for existing conditions, see Section D.2.c.

D6: Lighting Plan

Lighting

All lighting will be consistent with the standards of Section 704, Section 507.Tab A.II.A.8 and Section 23-100 of the Phoenix Zoning Ordinance and City Code.

Pedestrian lighting to be provided along public and private sidewalks that comply with the standards of Section 1304.D and Section 1304.H.5.

E. DESIGN GUIDELINES

E1: Design Guidelines

The following design guidelines shall be provided for in the final plans for a multifamily structure (those standards not addressed herein, and for non-residential development, comply with Ordinance Section 507 Tab A):

E1. Design Guidelines	
a. Exterior Materials	<p>Façade to include a minimum:</p> <ul style="list-style-type: none"> 60% Glazing (excludes ground floor) 40% Other Materials <p>Percentage of other materials:</p> <ul style="list-style-type: none"> 10% Masonry 70% Metal 20% Other <p>Materials (at least two):</p> <ul style="list-style-type: none"> Concrete Masonry Brick Non-reflective coated metals Stucco Wood, painted or stained Tile
b. Color Palette	Warm earth and gray tones and glass accents
c. Private Balconies	All residential units shall contain a minimum of one (1) private balcony, measuring a minimum of 60 square feet with a depth of 4 feet
d. Screen Walls	Architectural detailing consistent or complementary to the building façade.
e. Garage Screening	<p>Any portion of the parking garage visible from the public right-of-way or an off-site building shall be screened with material and design consistent with the primary building façade. The parking structure exterior should be finished with architectural embellishments and detailing that will create visual interest for adjoining properties and enhance the public right-of-way.</p> <p>Materials to include (at least two):</p> <ul style="list-style-type: none"> Concrete Masonry

	<ul style="list-style-type: none"> • Brick • Non-reflective coated metals • Stucco • Wood, painted or stained • Tile <p>Garage openings should be enhanced with specialty lighting, artwork, or materials to identify to the pedestrian the possible presence of automobiles.</p>
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The following requirements apply to multifamily residential development (those standards not addressed herein, and for non-residential development, comply with Section 507 Tab A):

E2. Landscape Design Guidelines	
<p>a. Uniform Streetscape Design</p>	<p>On the adjacent public rights-of-way, the following shall be included:</p> <p>The sidewalk landscape strip located between sidewalk and back of curb along Bell Road and the streetscape along Scottsdale Road will provide a shade canopy of street trees and colorful mix of shrubs, accents, and groundcover to buffer the street from the detached sidewalk. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar native species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c. • 3 different shrub species • 3 different accent species • 1 different groundcover species • Minimum 75% living groundcover coverage. <p>On-site landscaping located between the sidewalk and the building envelope will provide a shade canopy of street trees and a colorful mix of shrub, accents, and groundcover. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar Native species, meeting or exceeding the Landscape Standards set forth in Sections D2/b and c • 3 different shrub species • 3 different accent species • 1 different groundcover species • Minimum 75% living groundcover coverage.

<p>b. Uniform Perimeter Design</p>	<p>The south property line will provide colorful mix of shrubs, accents, and groundcover to buffer the adjacent properties, as well as the private accessway from the project to the extent practical. The landscape will be comprised of:</p> <ul style="list-style-type: none"> • Multi-trunk Mesquite, Foothills Palo Verde or Ironwood Trees, or similar Native species, meeting or exceeding the Landscape Standards set forth in Sections D2/d • 2 different shrub species • 2 different accent species • 1 different groundcover species • Minimum of 75% living groundcover coverage for areas not otherwise paved or utilized for drive aisle or sidewalks <p>The west property line will provide a buffer the adjacent property, consisting of shrubs to provide a minimum of 75% minimum groundcover coverage.</p>
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E3. Amenities

<p>E3: Amenities</p>	<p>a. Resident Amenities</p> <p>Resident amenities may include and, if provided are subject to the following minimum standard:</p> <ul style="list-style-type: none"> • Resident lounge/clubhouse no less than 3,500 square feet • Shared and private resident workspace no less than 2,500 square feet • Fitness center no less than 5,000 square feet • Dog park • Indoor wellness space no less than 800 square feet • Indoor event space no less than 5,000 square feet • Swimming pool and/or spa with at least three (3) of the following: <ul style="list-style-type: none"> ○ Lounge deck ○ Shaded outdoor dining area(s) ○ Water feature(s) ○ Barbeque grill(s) ○ Fire feature(s) ○ Seating node(s) ○ Trellis areas (to provide shaded seating zones)
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b. Implementation	<p>To implement the above, amenities standards are provided below, where applicable:</p> <ul style="list-style-type: none">• Lounge decks shall include sufficient space for permanent or placed seating, tables, and/or reclining sun chairs for a minimum of 10 persons• Shaded outdoor dining area shall be an area for the location of no less than four (4) table and chair sets under a cover (structural and/or vegetative) and shall have an enclosure element to separate the space from other areas, which may be a wall, planters or other feature to delineate the area.• Water features should be designed to limit loss of water by evaporation by avoiding placement in locations that experience long periods of direct sunlight and using non-spraying fountains (i.e. water features that move water via gravity, not larger pump driven fountains). Also see 507 Tab A.11.3.4.1.• Barbeque grill(s) shall incorporate a “built-in” design with base materials that are consistent with or complementary to the building materials• Fire feature shall be designed as a gathering space that includes sufficient clear area around for seating and/or a built-in seating area around the feature (i.e. a fire pit with large border for sitting on).• Seating Node areas shall be areas that are separated from other areas via wall, planters or other features to delineate the space.
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F. SIGNS

F1: Permitted Signs

Signage shall comply with Section 705 of the Zoning Ordinance.

G. SUSTAINABILITY

G1: City Enforced Standards

The following are standards that are measurable and enforceable by the City and will be provided:

- As encouraged by Reimagine Phoenix, recycling receptacles and chutes will be provided in the refuse room. These will be commercial bins, serviced by private solid waste provider.
- Dual Glaze Windows with High Performance Low-e Glazing.
- All primary site lighting will be LED lighting.
- Provide water efficient landscaping (drought tolerant plants).
- Utilize a drip irrigation system with a 'smart' controller to minimize water waste.
- Salvage and reuse of existing trees is strongly encouraged, particularly along Greenway Parkway and Marilyn Road
- Retaining existing sidewalks if possible to reduce material diverted to landfill.

G2: Developer Enforced Standards

The following are sustainability practices that are highly encouraged and planned to be utilized but which are not enforceable by the City:

- Utilize low water usage plumbing fixtures.
- Encourage the design of buildings' HVAC systems to eliminate the usage of CFC's and CFC based refrigerants.
- Encourage the use of water-based adhesives on all VCT and vinyl flooring to minimize VOC off gassing.
- Lower flow toilets and showerheads.
- Energy Star Rated appliances.
- Reduce heat island effect through ample open space, desert adapted landscaping and vegetation to include, shrubs etc.
- Use of synthetic turf (outside of any landscape setback) on podium. Provide as much shade as practical.
- Recycling services will be provided for tenants.
- Tenant invoicing and billing services will be paperless.
- Consider use of grey water or condensate to supplement potable irrigation water.

H. INFRASTRUCTURE

H1: Grading and Drainage

The existing site consists of a commercial building with shops and a restaurant, including associated parking. The site is graded such that water flows away from the building. Existing onsite stormwater is mainly conveyed through curb and gutter within the site and discharged at curb openings that conduct flow to surface retention basins adjacent to Scottsdale Road, which discharge employing dry wells. In addition, there is an existing surface retention basin in the landscape area at the southwest corner of the site. Existing offsite run-off flowing to the east from Bell Road is conveyed through curb and gutter and captured at an existing catch basin located near the intersection of Bell Road and Scottsdale Road; this catchment structure directs flows to the public stormwater system. Offsite run-off from Scottsdale Road flows toward the south by curb and gutter. Existing offsite flows from the west are intercepted by a curb running adjacent to the west property line of the lot and captured at an offsite catch basin near the southwest corner of the property. The adjoining parcel to the south directs its run-off toward the south of their property. In addition, there is an existing catch basin at the southwest corner of the property which collects flows from the portion of 71 Street that intersects the property. Overall, there are currently a total of five (5) main basins and two (2) drywells within the site.

The proposed site design consists of a 14-story building with a basement parking garage. The proposed onsite drainage will be handled within paved areas through catch basins and underground CMP pipes. Onsite retention will be provided considering a pre vs. post drainage analysis for the proposed residential development, having total discharge of the storm water within thirty-six (36) hours via drywells.

H2: Water and Wastewater

Public water infrastructure exists in the adjacent public roads and is assumed to be of sufficient capacity to service the proposed development. New private domestic and fire suppression services will be provided as necessary onsite per current City development codes and policies. Existing services will be evaluated for reuse by the new development as appropriate. The proposed building will discharge to a 6-inch sanitary sewer main in 71st Street. Water service will be provided on the southeast corner of the property by a 3" service line tapped into an existing 12" line within Scottsdale Road. A 1" irrigation service line will also be connected to the same existing 12" line. An existing fire hydrant on the northwest corner of the property will be relocated to facilitate the new construction and a proposed fire hydrant will be added to the southwestern corner of the site to provide sufficient coverage for fire protection. A fire department connection and fire service line are proposed for the Southwestern corner of the proposed building.

H3: Circulation Systems

According to the traffic generation statement that was conducted for the project (filed under separate cover), it was determined that the proposed use of the site would generate 1,216 weekday trips, with 84 trips (20 in, 64 out) during the AM peak hour and 95 trips (58 in, 37 out) during the PM peak hour. Overall, compared to the existing commercial/retail land use, the proposed development is anticipated to generate 504 fewer daily trips, with 76 fewer trips (-79 in, 3 out) during the AM peak hour and 35 greater trips (29 in, 6 out) during the PM peak hour.

The adjacent public roadways (Scottsdale Road and Bell Road) are built to full public standards and are at their final build out sizes and configurations. No changes are proposed for these roadways.

The project will have three (3) access points—one (1) existing right-in-right-out driveway onto eastbound Bell Road and two (2) driveways (one new driveway as enter-only and one existing driveway as exit-only) onto 71st Street, a private collector road that connects to both Bell Road and Scottsdale Road.

H4: Complete Streets

The City of Phoenix Complete Streets Design Guidelines include a number of suggestions for new development, some of which are applicable to this project. Specifically, this project will forward the “Design for Safety” and “Design for Connectivity” recommendations by its location and inclusion of an emphasized pedestrian pathway network to encourage pedestrian movements to/from the adjacent office and retail uses. The project will identify where pedestrians are crossing automotive pathways to reduce conflicts.

I. COMPARATIVE ZONING STANDARDS

I: Comparative Zoning Standards Table

Standards	C-2 Standards (References to R-3 for Multifamily)	Proposed PUD Standards
a. Maximum Building Height	2 stories or 30' up to 4 stories 56' with a "height waiver" (623.E.1.b)	159' 14 Stories
b. Lot Coverage	45%	61%
c. FAR	None	None
d. Dwelling Unit Density (Units/Gross Acre)	References to Section 615 (R-3) (Min 14.5 du/acre) ("Density Waiver" Option Up to 43.5 du/ac 623.E.1.b) = 40 to 121 Units	255 Dwellings 91 Dwelling Units/Acre
d. Building Setbacks		
North (Side):	10'/3'	23' (Minimum)
South (Side):	10'/3'	22' (Average)
East (Front):	25' (No Ground Floor Units - References to Section 701.D.3; Option to Reduce to 12' per 701.D.3.b)	17' (Average)
West (Rear):	15'	5' (Minimum)
e. Landscape Standards		
North (Side):	No Standard	20' (Minimum)
South (Side):	No Standard	Not Required
East (Front):	No Standard	15' (Average)
West (Rear):	No Standard	5' (Minimum)

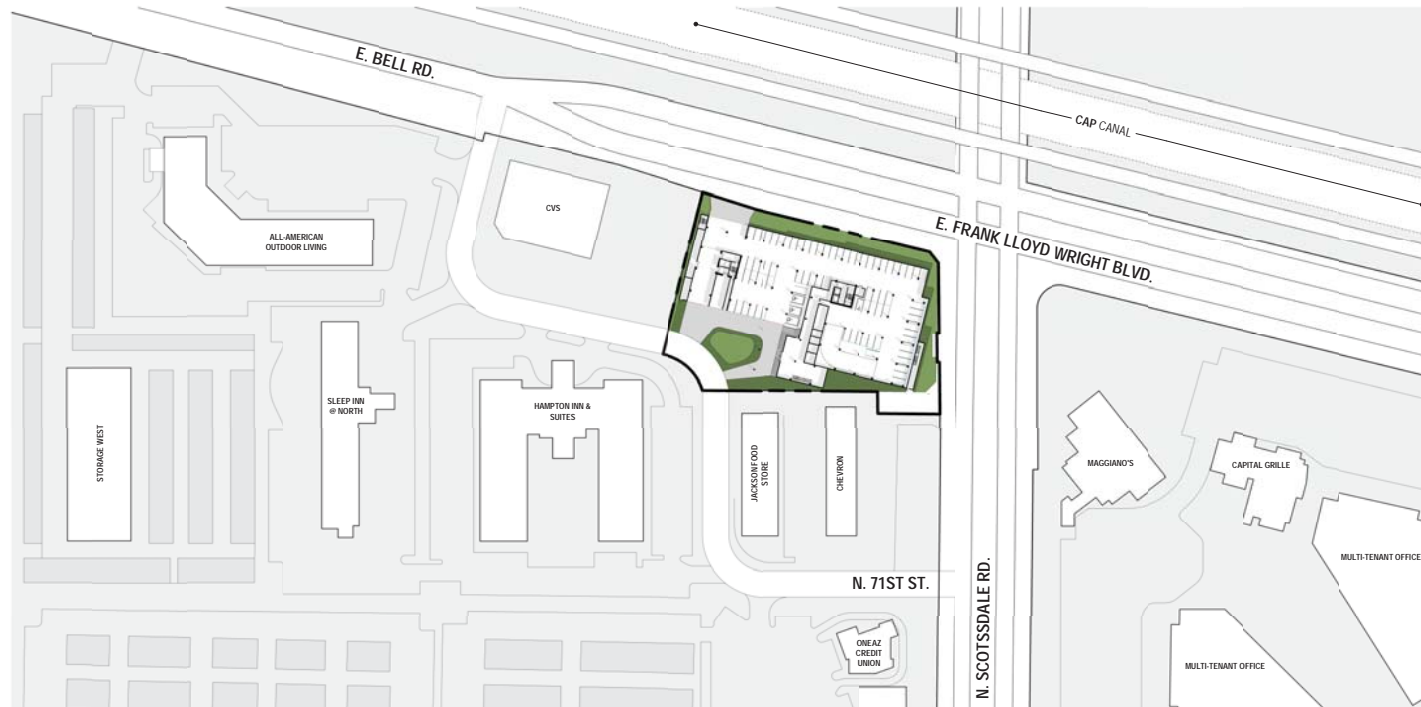
J. LEGAL DESCRIPTION

J: Legal Description

PARCEL "C", AS SHOWN ON THE FINAL PLAT OF PRINCESS CROSSING, RECORDED IN BOOK 445 OF MAPS, PAGE 18 IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 3 NORTH, RANGE 4 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXHIBIT 1

1/12/2024 12:23:16 PM - B:\2020\05\1317.000 - Scottsdale Pump Bell Edits\DWG 305_1307\1317.000 - Scottsdale and Bell Architecture.rvt



01 MASTER SITE PLAN
SCALE: 1" = 80'-0"

THE HAMPTON GROUP
8432 E. Shea Blvd
Scottsdale, AZ
85260

Gensler
2575 E Camelback Road
Suite 175
Phoenix, AZ 85016
United States
Tel: 602.523.4900
Fax: 602.523.4949

Date	Description
12/18/20	PUD

Seal / Signature

NOT FOR CONSTRUCTION

STAMP KWA # : 20-4321 PAPP # : 2015255
O.S. # : 36-44

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

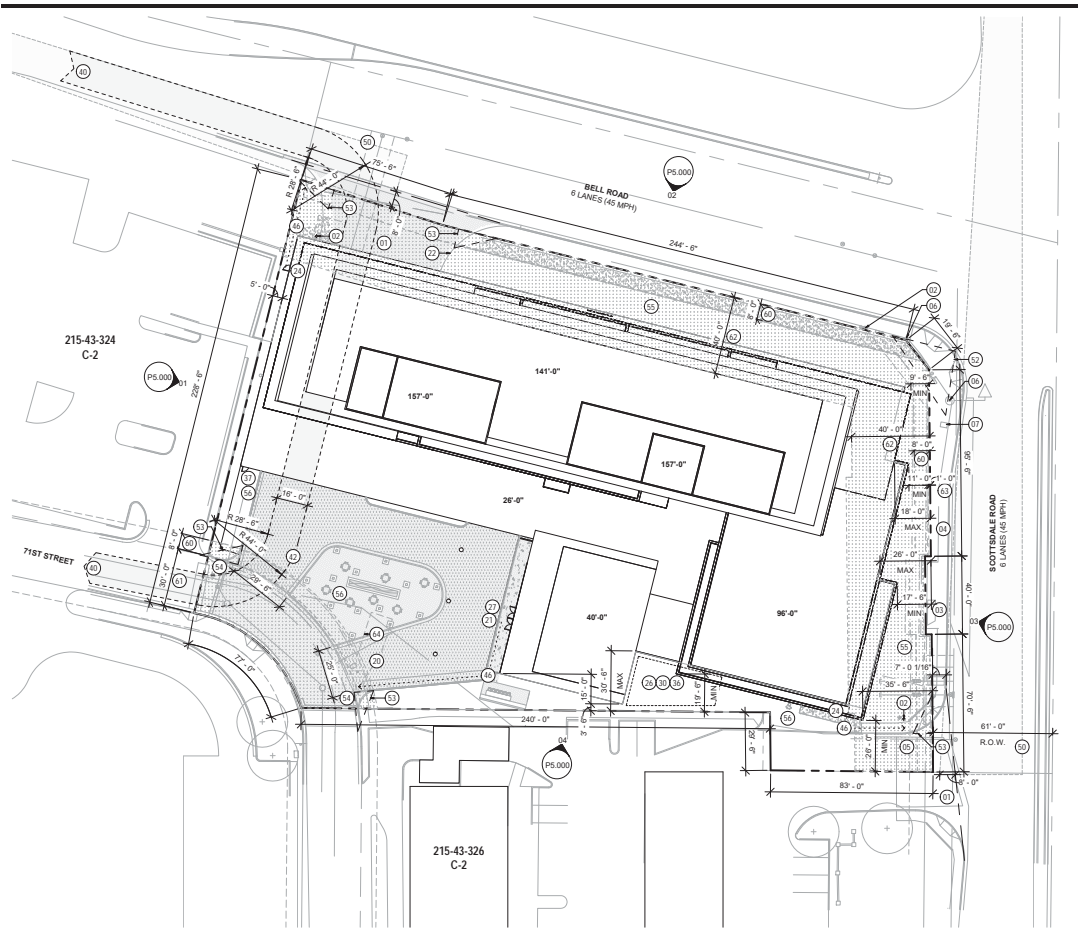
Description
MASTER SITE PLAN

Scale
1" = 80'-0" Red North

P0.000

© 2020 Gensler

EXHIBIT 2



01 SITE PLAN
SCALE: 1" = 30'-0"

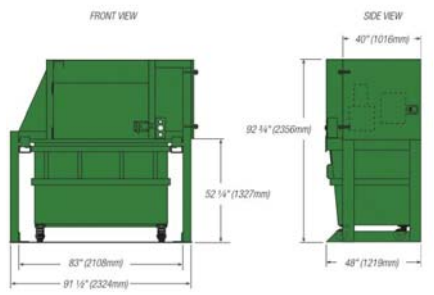
Minimum VP dimensions	
Unit height	52.20" 1327mm
Overall height	62.70" 1598mm
Overall width	31.91" 811mm
Overall depth	48" 1219mm
Container weight	875 lbs. 397 kg
Complete assembly weight	3870 lbs. 1757 kg

Vert-I-Pack Triple Lock

The mechanical door interlock prevents the door from being opened at all times except when the unit is in the proper feeding position. A second interlock prevents the unit from cycling openings when the door is in the open position. The third interlock prevents the unit from functioning when the container is not in the proper position.



Untouchable VIP



SHEET NOTES

- 01 EXISTING ENTRY DRIVE TO REMAIN
- 02 EXISTING FIRE HYDRANT TO BE RELOCATED
- 03 EXISTING BUS STOP TO REMAIN
- 04 EXISTING SIDEWALK TO REMAIN
- 05 EXISTING CURB TO REMAIN
- 06 EXISTING TRAFFIC SIGNAL TO REMAIN
- 07 EXISTING TRAFFIC SIGNAL BOX TO REMAIN
- 20 NEW ENTRY DRIVE
- 21 VEHICULAR DROP-OFF
- 22 NEW CURB CUT
- 24 BUILDING EXIT
- 26 ELECTRICAL EQUIPMENT
- 27 BUILDING ENTRANCE
- 30 SES
- 36 EMERGENCY GENERATOR
- 37 FIRE DEPARTMENT CONNECTION
- 40 REFUSE AND TRUCK ACCESS
- 42 NEW EXIT DRIVE
- 46 ACCESSIBLE PATH TO PUBLIC WAY
- 50 INTERSECTION SIGHT DISTANCE (6 LANES @ 45 MPH = 721')
- 52 33' X 33' VISIBILITY TRIANGLE
- 53 10' X 20' VISIBILITY TRIANGLE
- 54 CITY OF PHOENIX STANDARD DRIVEWAY DETAIL P-1255-1
- 55 LANDSCAPE TO BE MAINTAINED PER SECTION 703.B.3.a AND 703.B.3.b
- 56 LANDSCAPE
- 60 8'-0" PUBLIC UTILITY EASEMENT SET FORTH ON RECORDED PLAT OF PRINCESS CROSSING, RECORDED JULY 10, 1997 IN BOOK 445 OF MAPS, PAGE 18
- 61 30'-0" ACCESS EASEMENT SET FORTH ON RECORDED PLAT OF PRINCESS CROSSING, RECORDED JULY 10, 1997 IN BOOK 445 OF MAPS, PAGE 18
- 62 40'-0" SIDEWALK EASEMENT SET FORTH ON RECORDED PLAT OF PRINCESS CROSSING, RECORDED JULY 10, 1997 IN BOOK 445 OF MAPS, PAGE 18 TO BE ABANDONED.
- 63 1'-0" VEHICULAR NON-ACCESS EASEMENT SET FORTH ON RECORDED PLAT OF PRINCESS CROSSING, RECORDED JULY 10, 1997 IN BOOK 445 OF MAPS, PAGE 18
- 64 APS ELECTRIC EASEMENT NO. 98-0291817 RECORDED APRIL 10, 1998

LEGAL DESCRIPTION

PARCEL "C", AS SHOWN ON THE FINAL PLAT OF PRINCESS CROSSING, RECORDED IN BOOK 445 OF MAPS, PAGE 18 IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 3 NORTH, RANGE 4 EAST, OF THE GILA AND SAUVIE RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SHEET INDEX

- P0.000 - MASTER SITE PLAN
- P1.000 - SITE PLAN
- P1.001 - LOWER LEVEL 1 PARKING
- P1.002 - LOWER LEVEL 2 PARKING
- P1.010 - GROUND FLOOR PARKING
- P1.030 - TYPICAL FLOOR PLAN
- P1.130 - PENTHOUSE FLOOR PLAN
- P1.140 - ROOF PLAN
- P3.000 - CONTEXT PLAN
- P4.000 - EXISTING CONDITIONS
- P5.000 - ELEVATIONS
- P6.000 - PERSPECTIVES

LEGEND



CITY OF PHOENIX NOTES

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.
3. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT THE PROPERTY LINE. NO NOISE, ODOR, OR VIBRATION WILL BE EMITTED AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF NOISE, ODOR, OR VIBRATION EMITTED BY USES IN THE AREA OUTSIDE OF THE SITE.
4. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY'S ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 7'.
5. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 7'.
6. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
7. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHTS OF THE TALLEST EQUIPMENT.
8. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
9. BARBED, RAZOR, OR CONCERNINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
10. ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.

PROJECT INFORMATION

CLIENT: THE HAMPTON GROUP
8432 E SHEA BLVD, SCOTTSDALE, AZ, 85260
(602) 348-0300

APPLICANT: GENSLER
STEFAN RICHTER
2575 EAST CAMELBACK ROAD, SUITE 175
PHOENIX, AZ 85016
(602) 523-4961

BUILDING ADDRESS: 16640 N SCOTTSDALE RD
SCOTTSDALE, AZ 85254

ASSESSORS PARCEL #: APN 4215-43-125

PROJECT DESCRIPTION: 14 STORY, 255 UNIT RESIDENTIAL TOWER WITH AMENITIES AND STRUCTURED PARKING GARAGE.

PROJECT AREA: 600,000 GROSS BUILDING AREA

JURISDICTION: CITY OF PHOENIX

ZONING: PUD SUBJECT TO CITY COUNCIL APPROVAL

SETBACKS:

REQUIRED	PROVIDED
NORTH 20'-0"	23'-0"
EAST 20'-0"	22'-0" AVERAGE
SOUTH 0'-0"	17'-0" AVERAGE
WEST 0'-0"	5'-0"

LOT SIZE: 122,014 SF (2.801 ACRES) GROSS
82,132 SF (1.885 ACRES) NET

LOT COVERAGE: 50,080 / 82,132 = 61% ALLOWABLE = 50%

DENSITY: 255 / 2.801 = 91.0 ALLOWABLE = 45.68

BUILDING HEIGHT: 157'-0" PROPOSED ALLOWABLE = 48'-0"

BUILDING FLOORS: 14 PROPOSED ALLOWABLE = 4

RESIDENTIAL UNITS:

1B - 160	2B - 67	3B - 8
REQUIRED 240	PROVIDED 240	
1 BED @ 1.5 / UNIT 131		
2 BED @ 1.5 / UNIT 16		
3 BED @ 2.0 / UNIT 124		
GUEST @ 0.5 / 1B OR 2B 8		
GUEST @ 1.0 / 3B 8		
TOTAL 519		476

*REFER TO PARKING STUDY

ADA PARKING:

REQUIRED	PROVIDED
2% TOTAL PARKING 10	10

BICYCLE PARKING: NOT REQUIRED

OFF-STREET LOADING: 2 SPACES @ 10' X 30'

CONSTRUCTION TYPE: 1A

OPEN SPACE: 122,014 SF * 5% = 6,100 SF REQUIRED
122,014 - 52,000 = 70,014 SF PROVIDED

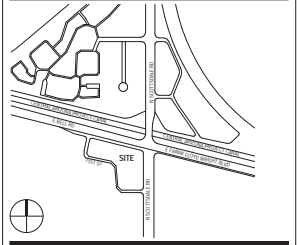
REFUSE:

1/4 CY PER UNIT SERVICE 2X PER WEEK 3:1 COMPACTION RATIO	255 * 0.5 = 128 CY
	128 / 2 = 64 CY
	64 / 3 = 21 CY (UNTOUCHABLE VIP COMPACTOR)

CONTAINERS PROVIDED:

REFUSE	(7) 3 CY CONTAINERS
RECYCLE	(3) 3 CY CONTAINERS

VICINITY MAP



STAMP KVA # : 20-4321 PAPP # : 2015255
O.S. # : 36-44

THE HAMPTON GROUP
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Scottsdale, AZ 85260

Gensler
2575 E Camelback Road
Suite 175
Phoenix, AZ 85016
United States

Tel 602.523.4900
Fax 602.523.4949

Δ	Date	Description
	12/18/20	PUD

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

Description
SITE PLAN



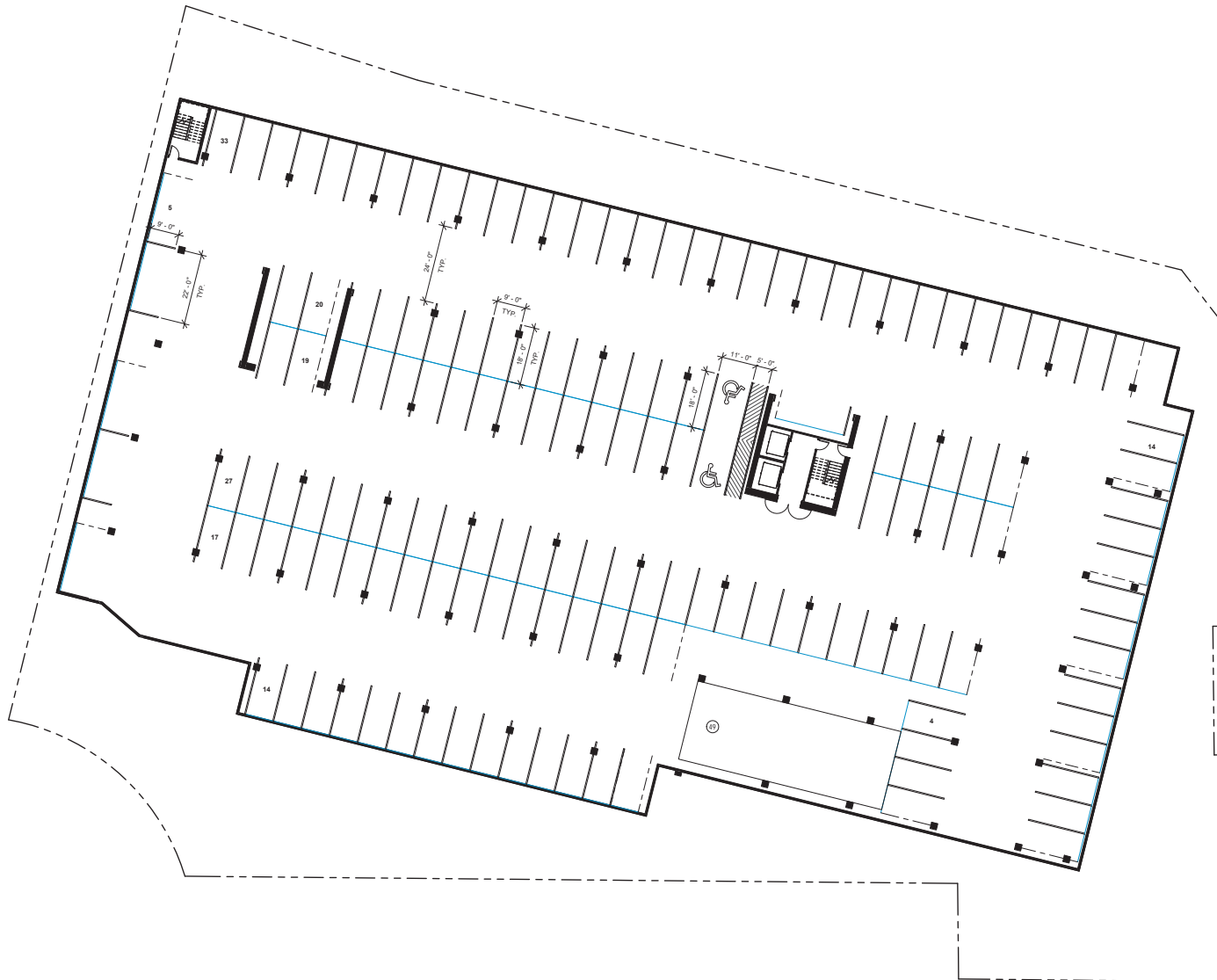
Scale
As indicated

P1.000

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EXHIBIT 3

1/12/2020 1:20:10 PM - BM 2005051917.000 - Scottsdale ramp, Bell Edmonds rd 305, 5077317.000 - Scottsdale and Bell - Architecture.rvt



01 LOWER LEVEL 2 PARKING PLAN

SCALE: 1/16" = 1'-0"

SHEET NOTES

- 23 FIRE COMMAND CENTER
- 24 BUILDING EXIT
- 25 REFUSE COLLECTION
- 27 BUILDING ENTRANCE
- 28 LOADING
- 29 (7) 3 CY REFUSE CONTAINERS
- 30 (3) 3 CY RECYCLE CONTAINERS
- 31 DRIVE ENTRY AND EXIT
- 32 DRIVE ENTRY
- 33 DRIVE EXIT
- 40 REFUSE AND TRUCK ACCESS
- 41 ADA PARKING SPACE
- 43 PARKING RAMP UP TO LEVEL 2
- 44 PARKING RAMP DOWN TO LOWER LEVEL 1
- 45 ARCHITECTURAL SECURITY GATE
- 47 PARKING UP TO GROUND LEVEL
- 48 PARKING DOWN TO LOWER LEVEL 2
- 49 PARKING UP TO LOWER LEVEL 1

THE HAMPTON GROUP

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85260

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United States
Tel: 602.523.4900
Fax: 602.523.4949

Date	Description
12/18/20	PUD

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

Description
LOWER LEVEL 2 PARKING PLAN

Scale
1/16" = 1'-0"



P1.002

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STAMP KWA # : 20-4321 PAPP # : 2015255
O.S. # : 36-44

EXHIBIT 4

1/12/2021 1:50:11 PM - BM 200.05273157.000 - Scottsdale ramp, Bell Entrance rd, 305, 50273157.000 - Scottsdale and Bell - Architecture, Inc.



01 GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"

SHEET NOTES

- 23 FIRE COMMAND CENTER
- 24 REFUSE COLLECTION
- 27 BUILDING ENTRANCE
- 28 LOADING
- 29 (7) 3 CY REFUSE CONTAINERS
- 30 (3) 3 CY RECYCLE CONTAINERS
- 31 DRIVE ENTRY AND EXIT
- 32 DRIVE ENTRY
- 33 DRIVE EXIT
- 40 REFUSE AND TRUCK ACCESS
- 41 ADA PARKING SPACE
- 43 PARKING RAMP UP TO LEVEL 2
- 44 PARKING RAMP DOWN TO LOWER LEVEL 1
- 45 ARCHITECTURAL SECURITY GATE
- 47 PARKING UP TO GROUND LEVEL
- 48 PARKING DOWN TO LOWER LEVEL 2
- 49 PARKING UP TO LOWER LEVEL 1

THE HAMPTON GROUP
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United States
Tel: 602.523.4900
Fax: 602.523.4949

Date	Description
12/18/20	PUD

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

Description
GROUND FLOOR PLAN

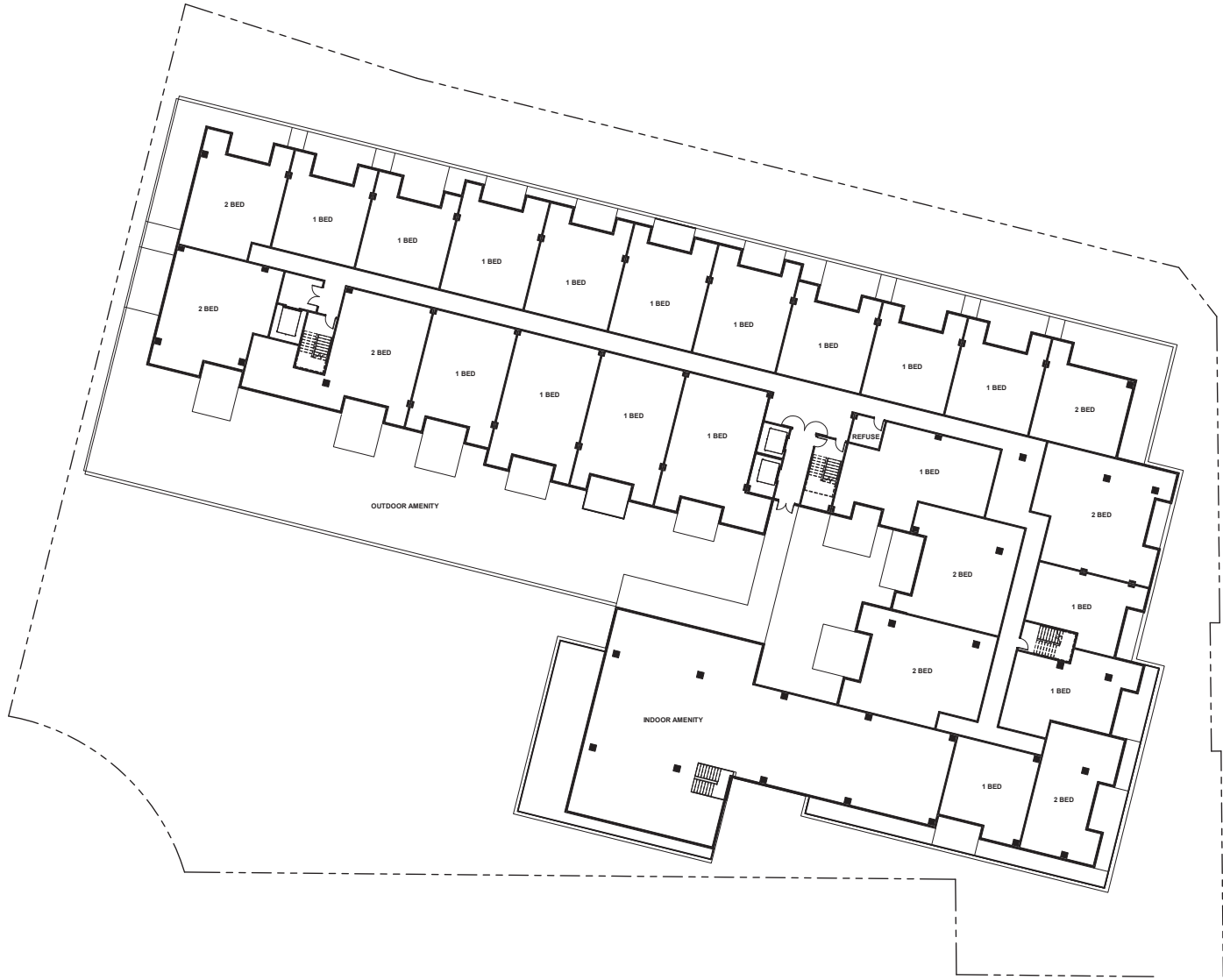
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P1.010

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EXHIBIT 5

1/12/2020 1:12:12 PM - BM 2005051317.000 - Scottsdale ramp, Bell Edmonds rd 305, 5877317.000, Scottsdale and Bell, Architecture, Inc.



01 TYPICAL FLOOR PLAN

SCALE: 1/16" = 1'-0"

SHEET NOTES

THE HAMPTON GROUP

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85260

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Date	Description
12/18/20	PUD

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

Description
TYPICAL FLOOR PLAN

Scale
1/16" = 1'-0"



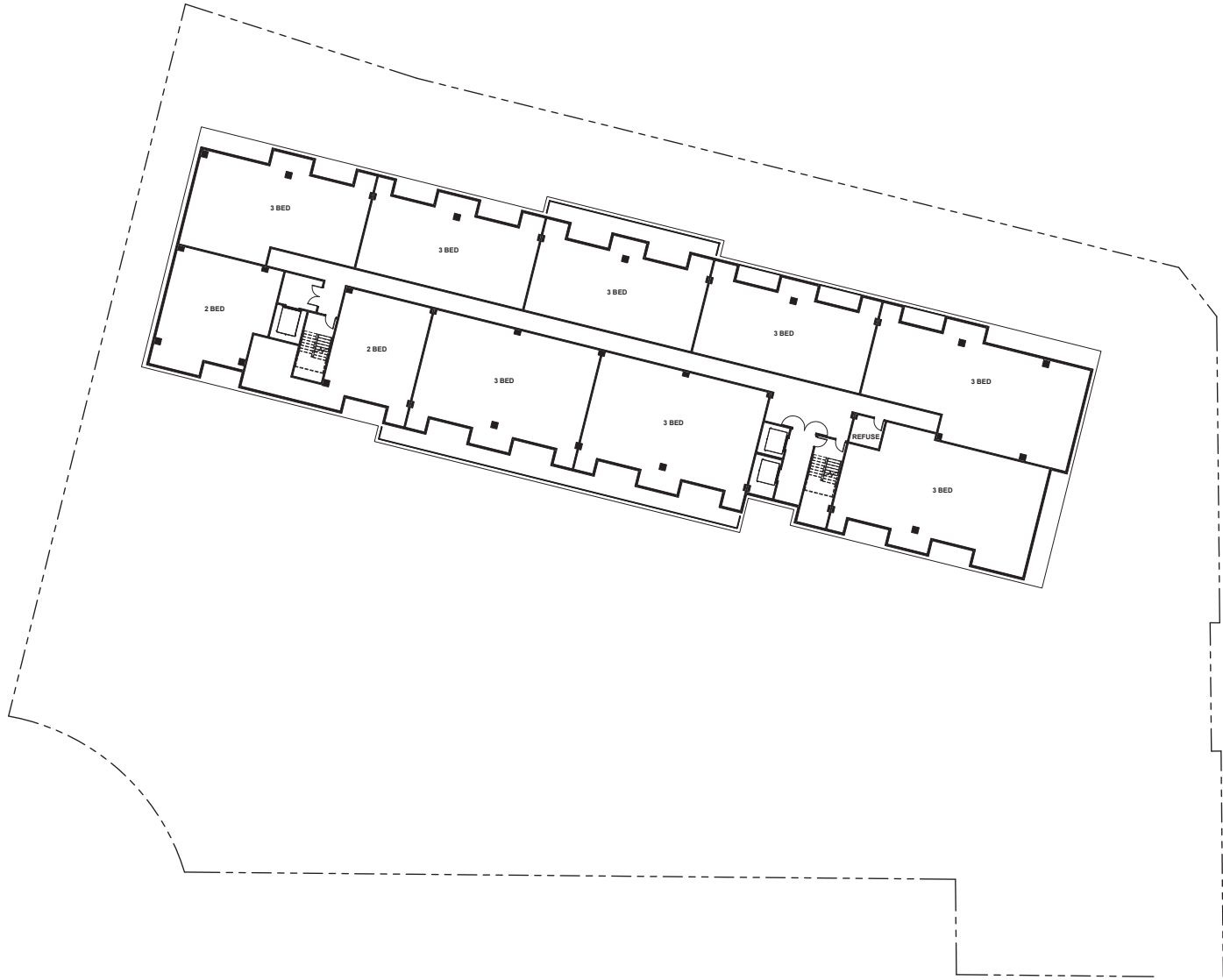
P1.030

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O.S. # : 36-44

EXHIBIT 6

1/12/2024 1:52:14 PM - BM 2005052157.000 - Scottsdale Group Bell Edmonds rd 305 507 5157.000 - Scottsdale and Bell Architecture vt



01 PENTHOUSE FLOOR PLAN

SCALE: 1/16" = 1'-0"

SHEET NOTES

THE HAMPTON GROUP

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Phoenix, AZ 85016
United States
Tel: 602.523.4900
Fax: 602.523.4949

Date	Description
12/18/20	PUD


Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

Description
PENTHOUSE FLOOR PLAN

Scale
1/16" = 1'-0" Ref North 

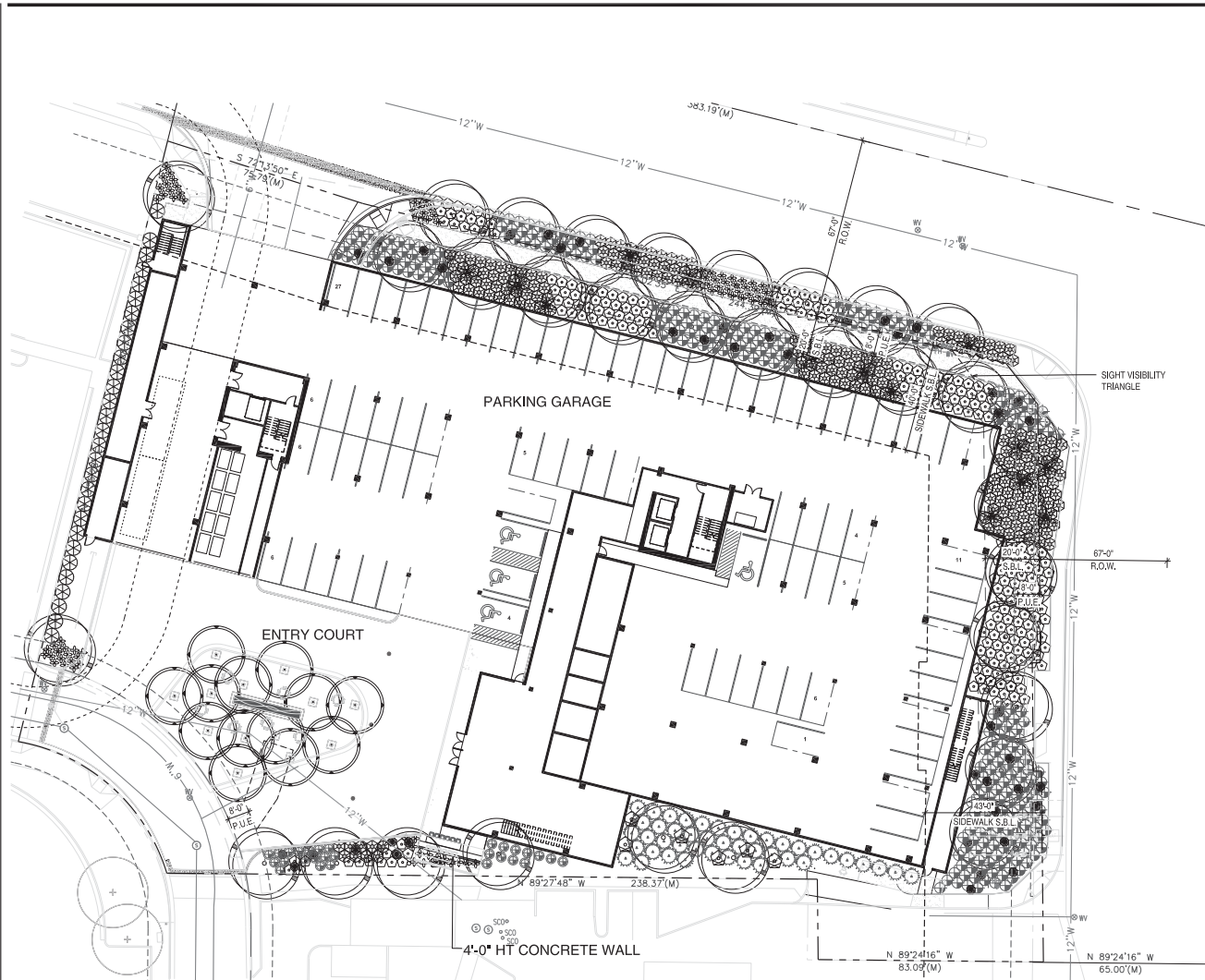
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O.S. # : 36-44

EXHIBIT 7

EXHIBIT 8



0 10 15 20 40
SCALE IN FEET 1" = 20'-0"

SCALE: 1" = 20'-0"

CONCEPTUAL PLANTING PLAN 01

PLANT LEGEND

SYM.	BOTANICAL NAME COMMON NAME	SIZE	QTY	NOTES (H X W X CAL.)
	PROSOPIS HYBRID AZT SEEDLESS MESQUITE	36" BOX	32	8'-10" x 7'-8" x 1.75"-2.5" MULTI TRUNK
	QUERCUS VIRGINIANA HERITAGE LIVE OAK	48" BOX	13	13'-15" x 7'-9" x 2.75"-4.0" SINGLE TRUNK

ACCENTS

	AGAVE FRANZOSINII MAJESTIC AGAVE	5 GAL	14	CAN FULL
	ALOE BARBADENSIS YELLOW MEDICINAL ALOE VERA	1 GAL	83	CAN FULL
	YUCCA ROSTRATA YUCCA ROSTRATA	3"-4" HT.	44	NON-PRUNED
	OPUNTIA GOMEI 'OLD MEXICO' OLD MEXICO PRICKLY PEAR	5 GAL	6	5 PAD MIN
	OPUNTIA CACANAPA TEXAS BLUE PRICKLY PEAR	5 GAL	232	5 PAD MIN

SHRUBS

	DODONAEA VISCOSA HOPBUSH	15 GAL	29	CAN FULL
	MUHLENBERGIA RIGENS DEER GRASS	1 GAL	44	CAN FULL
	RUSSELLIA X ST. ELMO'S FIRE™ ST. ELMO'S FIRE FIRECRACKER PLANT	5 GAL	28	CAN FULL
	RUSSELLIA EQUISETIFORMIS FIRECRACKER PLANT	5 GAL	308	CAN FULL

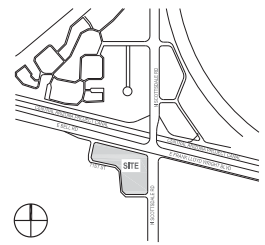
GROUND COVER

	PORTULACARIA AFRA ELEPHANT FOOT	5 GAL	209	CAN FULL
--	------------------------------------	-------	-----	----------

INERT MATERIALS

3/4" SCREENED DECOMPOSED GRANITE TOP DRESSING AT 2" DEPTH MIN. IN ALL PLANTERS UNLESS NOTED OTHERWISE.
COLOR: EXPRESS PAINTED DESERT.

- PLANTING GENERAL NOTES:**
1. PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.
 2. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SET FORTH IN THE AMERICAN STANDARDS OF NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND BY THE AMERICAN ASSOCIATION OF RECOMMENDED TREE SPECIFICATIONS.



VICINITY MAP

CITY OF PHOENIX APPROVALS
RMA # 2015-4321
PAPP #: 20152555
O.S.: 36-44

THE HAMPTON GROUP
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Suite 750
Phoenix, AZ 85004
United States
Tel 602.523.4900
Fax 602.523.4949

COLWELL SHELOR
LANDSCAPE ARCHITECTURE
4450 N 12th ST, SUITE 104
PHOENIX, AZ 85014
602.633.2195
ACOLWELL@COLWELLSHELOR.COM

Date	Description
1 11/09/20	Pre-Application

Seal / Signature



Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
20024

Description
CONCEPTUAL PLANTING PLAN

Scale
1" = 20'-0"

L2.00

EXHIBIT 9



71ST STREET LOOKING NORTHEAST



CORNER AT SCOTTSDALE ROAD + BELL ROAD LOOKING SOUTH



71ST STREET LOOKING NORTH



SCOTTSDALE ROAD LOOKING WEST

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 Tel: 602.523.4900
 Fax: 602.523.4949

Date	Description
12/18/20	PUD

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
 SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
 057.8157.000

Description
 PERSPECTIVES

Scale

P6.000

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STAMP KWA # : 20-4321 PAPP # : 2015255
 O.S. # : 36-44

EXHIBIT 10

THE HAMPTON GROUP
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 Tel: 602.523.4900
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Date	Description
12/18/20	PUD

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
SCOTTSDALE & BELL RESIDENTIAL DEVELOPMENT

Project Number
057.8157.000

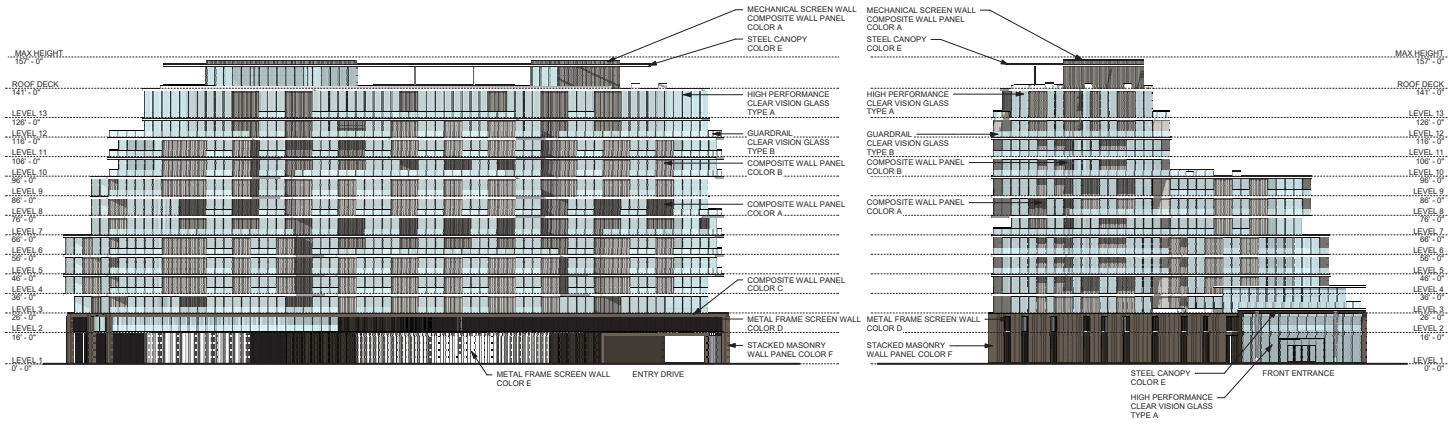
Description
ELEVATIONS

Scale
1" = 30'-0"

P5.000

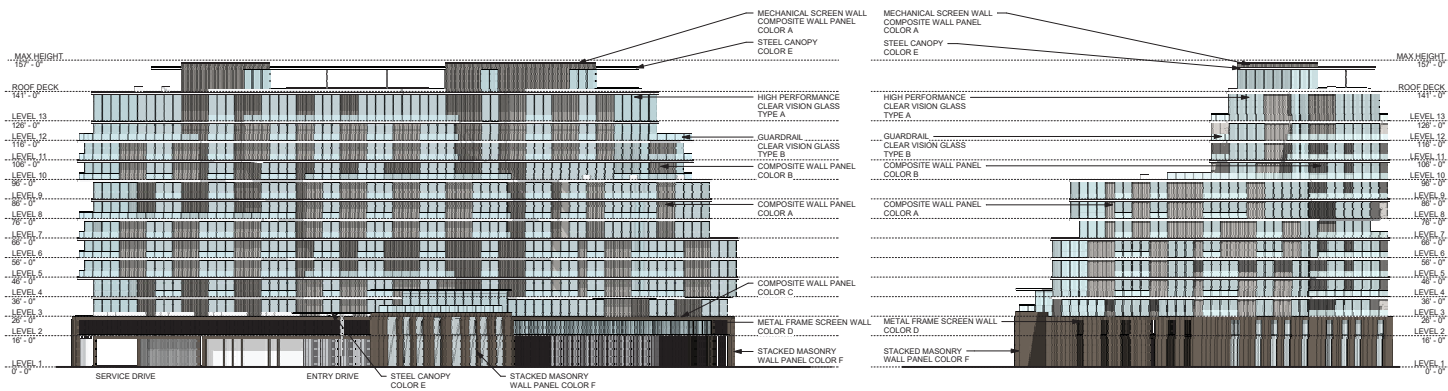
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STAMP KWA # : 20-4321 PAPP # : 2015255
 O.S. # : 36-44



02 NORTH ELEVATION
 SCALE: 1" = 30'-0"

01 WEST ELEVATION
 SCALE: 1" = 30'-0"



04 SOUTH ELEVATION
 SCALE: 1" = 30'-0"

03 EAST ELEVATION
 SCALE: 1" = 30'-0"

12/18/2020 1:55:17 PM B:\057.8157.000_Southside and Bell_Southside and Bell_Architectural.rvt

EXHIBIT 11

CITY OF PHOENIX GRADING AND DRAINAGE NOTES

- CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.
- COMPACTION SHALL COMPLY WITH MAG SECTION 601.
- OBSTRUCTIONS TO PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY SHALL BE REMOVED OR RELOCATED BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE ACTUAL POINT OF PAVEMENT MATCHING AND/OR TERMINATION SHALL BE DETERMINED IN THE FIELD BY THE CITY OF PHOENIX, PLANNING & DEVELOPMENT DEPARTMENT FIELD INSPECTOR.
- PAVEMENT REPLACEMENT THICKNESS AND TYPE ARE TO BE PER MAG SECTION 336 AND C.O.P. DETAIL P1200 - TYPE B. CURB AND GUTTER REPLACEMENT SHALL BE A MINIMUM OF ONE (1) FULL SECTION, PER MAG STANDARD DETAIL 220. SIDEWALK REPLACEMENT SHALL BE A MINIMUM OF ONE (1) FULL PANEL PER C.O.P. DETAIL P1230.
- TREES AND SHRUBBERY IN THE RIGHT-OF-WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL NOT BE REMOVED WITHOUT APPROVAL OF THE CITY LANDSCAPE ARCHITECT OR HIS ASSIGNEES. THE PERMITEE SHALL BE RESPONSIBLE FOR OBTAINING AUTHORIZATION TO REMOVE AND/OR RELOCATE SAID TREES OR SHRUBBERY BY CALLING THE PARKS AND RECREATION DEPARTMENT AT (602) 262-6501.
- A PAVEMENT CUT SURCHARGE SHALL BE ASSESSED ON THIS PROJECT FOR ANY TRENCHING OR POTHOLES IN NEW ASPHALT PAVEMENT THAT IS LESS THAN 30 MONTHS OLD. SURCHARGE FEES ASSESSED ARE IN ADDITION TO THE REGULAR PERMIT FEES AND ARE OVER AND ABOVE ANY SPECIAL BACKFILL, COMPACTION, AND PAVEMENT REPLACEMENT STRIPULATIONS THAT MAY BE IMPOSED AS A CONDITION OF PERMITTING. PAVEMENT CUT SURCHARGE FEES ARE ASSESSED IN ACCORDANCE WITH SECTION 31-38 OF THE PHOENIX CITY CODE.
- A GRADING PERMIT IS REQUIRED UNDER CHAPTER 32A OF THE PHOENIX CITY CODE.
- WHEN HULL PERMITS ARE REQUIRED, THEY MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
- EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 100 CUBIC YARDS, THE DISPOSAL SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
- PLANNING & DEVELOPMENT DEPARTMENT FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON SITE AND/OR OFF-SITE CONSTRUCTION BEGINS, TELEPHONE (602) 262-7811.
- STAMPING FINISH FLOOR ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT THREE SEALED COPIES OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" (BEARING AN ORIGINAL SIGNATURE) PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- PAD CERTIFICATIONS WILL BE REQUIRED ON ALL LOTS WITHIN THE SUBDIVISION AND SUBMITTED TO THE CIVIL/ SITE INSPECTOR PRIOR TO ANY CONCRETE CONSTRUCTION IN THE RIGHT-OF-WAY. PAD CERTIFICATION CAN BE SUBMITTED TO THE CIVIL/ SITE INSPECTOR BY EITHER SUBMITTING ONE APPROVED BLACK-LINE AS-BUILT GRADING AND DRAINAGE PLAN OR IN LETTER FORMAT SHOWING THE DESIGN AND AS-BUILT PAD ELEVATIONS AS SHOWN ON THE APPROVED GRADING AND DRAINAGE PLAN. IT IS REQUIRED THAT THE AS-BUILT PLAN AND LETTER BE SEALED BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATION.
- GRADES SHOWN IN RETENTION BASINS ARE DESIGN FINISHED GRADES. SHOULD THE CONTRACTOR OR ANY SUBCONTRACTOR PLAN TO PLACE SPOIL DIRT FROM FOOTINGS, UTILITY TRENCHES, LANDSCAPING, SWIMMING POOLS, ETC. IN THE BASINS, THE BASINS SHOULD BE SUFFICIENTLY OVER-EXCAVATED DURING THE ROUGH GRADING OPERATION TO ALLOW FOR THE PLACEMENT OF THE FILL OR LANDSCAPING MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN BECAUSE OF CONFLICTS, THE CONTRACTOR SHOULD DISCUSS MODIFICATION OF BASIN CONFIGURATION WITH THE CITY INSPECTOR TO DETERMINE IF A PLAN REVISION OF A FIELD CHANGE IS REQUIRED.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- PER SECTION 6.8.7 OF THE CITY OF PHOENIX STORM WATER POLICIES AND STANDARDS, SIDE SLOPES OF STORM WATER STORAGE FACILITIES SHALL BE NO STEEPER THAN 5:1 FOR IRRIGATED GRASS AREAS AND 3:1 FOR LANDSCAPE AREAS. SLOPE STABILIZATION MEASURES ARE REQUIRED FOR ALL SLOPES GREATER THAN 5:1. THE SLOPE STABILIZATION MEASURES MUST BE READILY MAINTAINABLE USING COMMON MAINTENANCE EQUIPMENT AND BE DESIGNED WITH CONSIDERATION TO AESTHETICS. THE SLOPE STABILIZATION MEASURES SHALL BE CONSISTENT WITH COMMONLY USED ENGINEERING PRACTICES. UN-STABILIZED DECOMPOSED GRANITE IS NOT ALLOWED ON SLOPES GREATER THAN 5:1.
- ALL RETAINING WALLS ARE TO BE REVIEWED, PERMITTED, AND INSPECTED BY THE BUILDING SAFETY BRANCH OF THE PLANNING & DEVELOPMENT DEPARTMENT. ALL RETAINING WALLS ARE TO BE IN ACCORDANCE WITH SECTION 703 OF REQUIREMENTS.
- USE PERMIT FOR S IS REQUIRED FOR ALL OVER-HEIGHT RETAINING WALLS.
- ALL RAMPS MUST MEET 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND CITY OF PHOENIX SUPPLEMENT TO MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS; 2% MAX CROSS SLOPES AND 1:21 MAX LONGITUDINAL SLOPES.
- CERTIFICATE OF OCCUPANCY (C OF O) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
- EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CITY INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.
- THE ENGINEERING DESIGN ON THESE PLANS IS ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- THE CITY OF PHOENIX POLICE DEPARTMENT ENFORCES LAWS REGULATING THE OPERATION OF COMMERCIAL VEHICLES. THIS INCLUDES ENFORCEMENT OF FEDERAL, STATE, COUNTY AND LOCAL LAWS AND ORDINANCES. QUESTIONS REGARDING COMMERCIAL VEHICLE ENFORCEMENT MAY BE DIRECTED TO THE COMMERCIAL VEHICLE ENFORCEMENT SUPERVISOR AT (602) 495-7813 (TRAFFIC BUREAU SOUTH) OR (602) 495-6784 (TRAFFIC BUREAU NORTH).
- PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

EXISTING LEGEND:

TC=XXXX G=XXXX	EX. SPOT ELEVATION	EX. W	WATER LINE	TOP	LIGHT POLE
-----	EASEMENT LINE AS NOTED	WV	WATER VALVE	+	STREET LIGHT MAST
---	SEWER LINE	FD	FIRE HYDRANT	+	TREE
---	SEWER MANHOLE	SCB	STORM CATCH BASIN	+	
		SM	STORM MANHOLE		

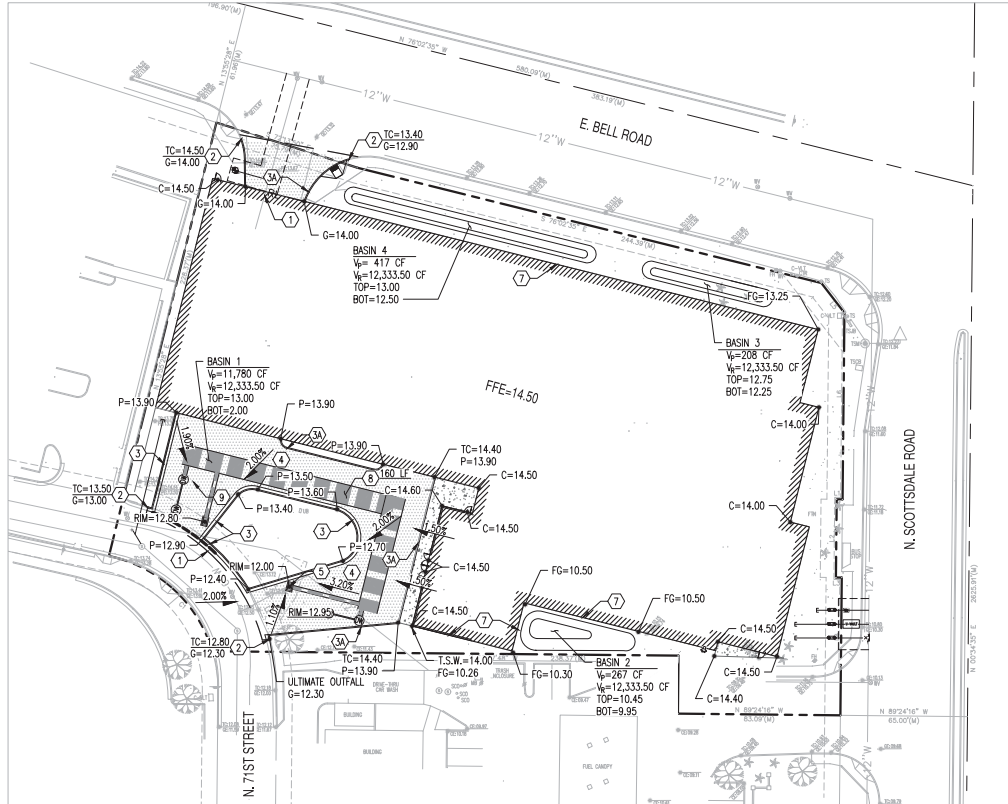
PROPOSED LEGEND:

G=XXXX	GUTTER ELEVATION	---	PROPERTY LINE	+	CATCH BASIN
TC = G+0.5'		---	CURB AND GUTTER	+	STORM PIPE
P=XXXX	PAVEMENT ELEVATION	---	RIDGELINE	+	STORM MANHOLE
C=XXXX	CONCRETE ELEVATION	---	SLOPE ARROW	+	DRYWELL
		+		+	WATER METER
		+		+	T.S.V.B.&C
		+		+	FIRE HYDRANT
		+		+	BACKFLOW PREVENTOR
		+		+	CAP
		+		+	FIRE DEPARTMENT CONNECTION
		+		+	LIGHT DUTY PAVEMENT

SWC SCOTTSDALE AND BELL

PRELIMINARY GRADING AND DRAINAGE PLAN

N SCOTTSDALE RD & E BELL RD



GRADING CONSTRUCTION KEY NOTES

- SAWCUT REMOVE AND REPLACE: ASPHALT, CURB/GUTTER REPLACE PAVEMENT PER MAG SPEC. 336 AND C.O.P. DET. P. 1200, TYPE "B" T-TOP
- MATCH EXISTING GRADE; CONTRACTOR TO VERIFY IN FIELD ALL GRADES PRIOR TO CONSTRUCTION ACTIVITIES AND CONTACT ENGINEER IN CASE OF ANY DISCREPANCIES.
- CONSTRUCT 6" CONCRETE CURB AND GUTTER PER MAG STD. DET. 220-1 TYPE "A".
- CONSTRUCT 6" VERTICAL CURB PER MAG STD. DET. 222 TYPE "B".
- CONSTRUCT LIGHT DUTY ASPHALT PAVEMENT PER DET. X/C/XXX
- FURNISH AND INSTALL CONCRETE CATCH BASIN PER MAG STD. DET. 535.
- FURNISH AND INSTALL HDPE DOUBLE WALL PIPE, CLASS 100; PIPE MATERIAL PER MAG SPECIFICATION 738. LENGTH, SIZE AND SLOPE PER PLAN.
- BUILDING STEM WALL.
- FURNISH AND INSTALL 14 GAGE POLYMER COATED 120" CMP STORMWATER STORAGE SYSTEM. PIPE MATERIAL PER MAG SPECIFICATION 621. LENGTH AND SLOPE PER PLAN. CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO MANUFACTURING.
- FURNISH AND INSTALL MAXWELL PLUS DRYWELL. REFER TO SHEET C/XXX FOR DETAIL. NOTE: CONTRACTOR TO HAVE A PERCOLATION TEST DONE ON FIRST CONSTRUCTED DRYWELL AND PROVIDE RESULTS TO ENGINEER FOR DETERMINATION OF ULTIMATE NUMBER OF REQUIRED DRYWELLS.

LOCATION: Z:\SHARED\PROJECTS\GENSLY\SCOTTSDALE & BELL - SCOTTSDALE - 200908\11 CAD (GEN)\11.2 ENTITLEMENT-PLANNING\200908-C3.00.DWG SAVED BY: ANTHONY...

PRELIMINARY NOT FOR CONSTRUCTION

SUSTAINABILITY ENGINEERING GROUP



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WWW.AZSECO.COM TEL: 480.988.7226 FAX: 480.263.3034



PROJECT: SWC SCOTTSDALE AND BELL
LOCATION: SWC N. SCOTTSDALE RD & E BELL RD

DATE: 10/19/2020
ISSUED FOR: REVIEW

REVISION NO.	DATE

JOB NO.: 200908
SHEET NO.: 200908
PRELIMINARY GRADING AND DRAINAGE PLAN

PAGE NO.: 1 OF 2
SHEET NO.: C3.10

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